

Our Ref.: DD 106 Lot 154 RP
Your Ref.: TPB/A/YL-KTS/1045

The Secretary,
Town Planning Board,
15/F, North Point Government Offices,
333 Java Road,
North Point, Hong Kong

By Email

27 January 2025

Dear Sir,

1st Further Information

**Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) with Ancillary Facilities
for a Period of 3 Years and Associated Filling of Land in “Agriculture” Zone,
Lot 154 RP (Part) in D.D. 106 and Adjoining Government Land,
Kam Tin, Yuen Long, New Territories**

(S.16 Planning Application No. A/YL-KTS/1045)

We write to submit further information in response to department comments of the subject application.

Should you require more information regarding the application, please contact our [REDACTED] or the undersigned at your convenience. Thank you for your kind attention.

Yours faithfully,

For and on behalf of
R-riches Property Consultants Limited



Christian CHIM
Town Planner

cc DPO/FSYLE, PlanD

(Attn.: Ms. Selena SIN
(Attn.: Mr. Michael SO

email: synsin@pland.gov.hk)
email: mckso@pland.gov.hk)



Responses-to-Comments

**Proposed Temporary Warehouse (Excluding Dangerous Goods Godown)
with Ancillary Facilities for a Period of 3 Years and Associated Filling of Land in “Agriculture” Zone,
Lot 154 RP (Part) in D.D. 106 and Adjoining Government Land, Kam Tin, Yuen Long, New Territories**

(Application No. A/YL-KTS/1045)

(i) A RtoC Table:

Departmental Comments		Applicant’s Responses
1. Comments of the Chief Town Planner/Urban Design and Landscape, Planning Department (CTP/UD&L, PlanD)		
(a)	No tree information and mitigation measure(s) are provided in the application.	<p>The site inspection conducted on 14.1.2025 identified 26 existing trees within the Site. All trees identified thereon are of common species, whilst 20 of them are of invasive alien species i.e. <i>Leucaena leucocephala</i>. The tree survey report is enclosed at Annex 1a.</p> <p>The existing trees are proposed to be felled as they are in conflict with the proposed development scheme. Given that <i>Leucaena leucocephala</i> is an invasive alien species, the removal of 20 of them are not to be compensated. In order to mitigate the potential landscape impact that would have arisen from the proposed development, the applicant proposes to plant 6 new trees of local species, i.e. <i>Bauhinia x blakeana</i>, at the Site on a 1:1 ratio, with a view to compensating for the existing trees to be felled.</p> <p>In view of the provision of new trees, the extent of the proposed filling of land has been revised. The area of the proposed filling of land is reduced from 2,124 m² to 2,072 m² (about), i.e. 97.6% (about) of the site area.</p> <p>The landscape plan is enclosed at Annex 1b. The revised plan showing filling of land at the Site, and the revised pages of Form No. S16-III & Planning Statement are enclosed at Annex 2.</p>

Departmental Comments		Applicant's Responses
2. Comments of the Director of Agriculture, Fisheries and Conservation (DAFC)		
(a)	It is noted from the aerial photo that the subject site is vegetated, yet it is noted from item e(iii) in part 6 of the application form that there will be no tree felling, please ask the applicant to clarify whether tree will be felled for the proposed use.	The tree survey report is enclosed at Annex 1a . For details, please refer to the above applicant's response to CTP/UD&L, PlanD.
(b)	As the Tai Lam Country Park is adjacent to the west of the application site, please advise the applicant to avoid causing damages and disturbance to the country park during construction and operation.	The proposed development will be strictly confined within the site boundary. 2.5 m high solid metal fencing will be erected along the site boundary to minimize nuisance to the country park and the surrounding areas (Section 5.12 of the Planning Statement refers).

Annex 1a
Tree Survey Report



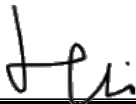
Tree Survey Report

Date of Survey: 14th January 2025

Location:

Lot 154 RP (Part) In D.D. 106 and Adjoining Government Land, Kam Tin, Yuen Long, New Territories

Prepared by:



Registered Arborist

Date: 14th January 2025

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2. Summary of Existing Trees	4

Appendix:

- I. Tree Survey Plan
- II. Tree Survey Schedule
- III. Photo Records

Disclaimer:

The tree survey conducted indicates the condition of the surveyed trees at the time of inspection only. The assessments of amenity value, form, health and structural condition of the trees surveyed are based on visual inspection from the ground only. No aerial inspection, root digging or mapping, or diagnostic testing has been conducted as part of this survey. Wing Ho Yuen Landscaping Company Limited cannot accept responsibility for future failure or defects detected after the time of inspection of the trees surveyed in this report.

1. Introduction

The survey conducted is to record all the existing trees in the tree survey boundary. The survey include tree species identification, tree tagging with durable labels, the measurements of overall tree height, Diameter at Breast Height (DBH), average crown spread, the evaluation on amenity value, form, health and structural conditions.

The tree survey was conducted on 14th January 2025. Plants with DBH less than 95mm were not recorded in the survey.

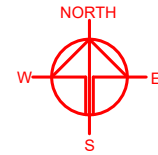
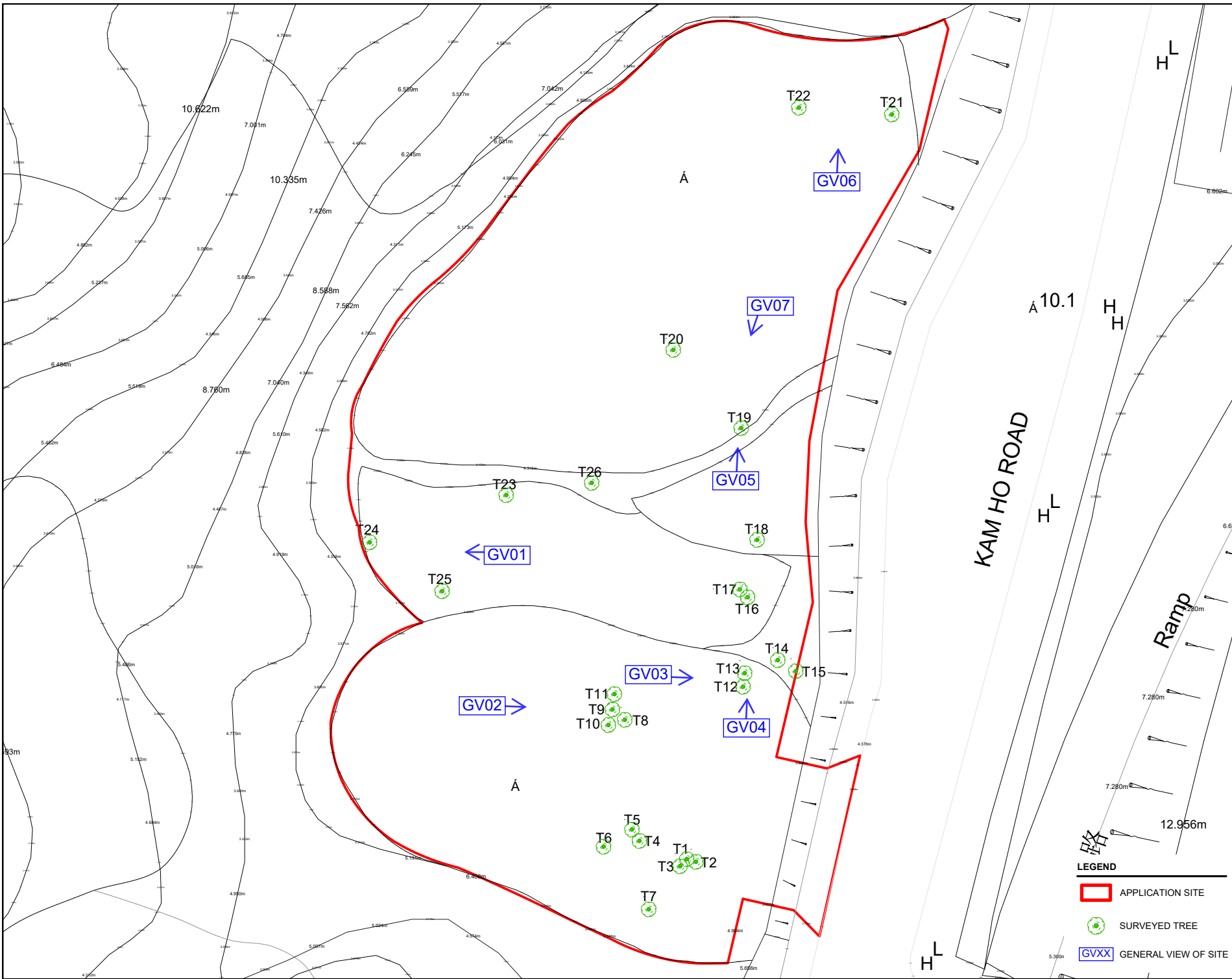
2. Summary of Existing Trees

The surveyed site is located at Lot 154 RP (Part) In D.D. 106 and Adjoining Government Land, Kam Tin, Yuen Long, New Territories.

At the time of inspection on 14th January 2025, **26 nos.** trees were found within the Site. **No** dead tree was recorded in the surveyed area. Location of individual tree refers to Appendix I.

Details of tree conditions and photo records for individual tree are recorded in the Appendix II and Appendix III respectively.

Appendix I – Tree Survey Plan



PLANNING CONSULTANT
R-Riches
 Property Consultants Ltd.

PROJECT
 PROPOSED WAREHOUSE WITH ANCILLARY FACILITIES FOR A PERIOD OF 3 YEARS AND ASSOCIATED FILLING OF LAND
 TEMPORARY (EXCLUDING DANGEROUS GOODS GODOWN)

SITE LOCATION
 LOT 154 RP (PART) IN D.D. 106 AND ADJOINING GOVERNMENT LAND, KAM TIN, YUEN LONG, NEW TERRITORIES

SCALE
 NOT ON SCALE

DRAWN BY KYU	DATE 14.1.2025
REVISED BY	DATE
APPROVED BY	DATE

DWG. TITLE TREE SURVEY PLAN	
DWG. NO. TSP01	VER. 0

- LEGEND**
- APPLICATION SITE
 - SURVEYED TREE
 - GVXX GENERAL VIEW OF SITE

Appendix II –Tree Survey Schedule

Tree Survey Schedule

Location: Lot 154 RP (Part) In D.D. 106 and Adjoining Government Land, Kam Tin, Yuen Long, New Territories
 Tree surveyor(s): Mak Ka Hei
 Field Survey was conducted on: 14 January 2025



Tree No.	Tree Species		Tree Size Measurements			Amenity Value	Form	Health Condition	Structural Condition	Suitability for Transplanting	Remarks
	Botanical Name	Chinese Name	Overall Height (m)	DBH (mm)	Average Crown Spread (m)	High /Med /Low	Good /Fair /Poor	Good /Fair /Poor /Dead	Good /Fair /Poor	High /Med /Low	
T1	<i>Leucaena leucocephala</i>	銀合歡	4.0	130	2.0	Low	Poor	Poor	Poor	Low	leaning, broken trunk, crooked trunk, co-dominant trunks
T2	<i>Leucaena leucocephala</i>	銀合歡	3.0	100	2.0	Low	Poor	Poor	Poor	Low	broken trunk with epicormics
T3	<i>Leucaena leucocephala</i>	銀合歡	5.0	100	2.0	Low	Poor	Poor	Poor	Low	decay at trunk
T4	<i>Leucaena leucocephala</i>	銀合歡	7.0	220	2.0	Low	Poor	Poor	Poor	Low	crooked trunk, dead branch
T5	<i>Leucaena leucocephala</i>	銀合歡	4.0	100	2.0	Low	Poor	Poor	Poor	Low	cross trunks
T6	<i>Leucaena leucocephala</i>	銀合歡	6.0	110	2.0	Low	Poor	Poor	Poor	Low	dead trunk
T7	<i>Leucaena leucocephala</i>	銀合歡	5.0	140	2.0	Low	Poor	Poor	Poor	Low	epiphytic plants, leaning, epicormics
T8	<i>Leucaena leucocephala</i>	銀合歡	8.0	120	4.0	Low	Poor	Poor	Poor	Low	broken trunk
T9	<i>Leucaena leucocephala</i>	銀合歡	3.0	100	1.0	Low	Poor	Poor	Poor	Low	broken trunk with epicormics
T10	<i>Leucaena leucocephala</i>	銀合歡	10.0	120	4.0	Low	Poor	Poor	Poor	Low	leaning
T11	<i>Leucaena leucocephala</i>	銀合歡	6.0	95	3.0	Low	Poor	Poor	Poor	Low	cavity at trunk
T12	<i>Leucaena leucocephala</i>	銀合歡	7.0	130	2.0	Low	Poor	Poor	Poor	Low	broken trunk, leaning
T13	<i>Leucaena leucocephala</i>	銀合歡	8.0	140	3.0	Low	Poor	Poor	Poor	Low	broken trunk
T14	<i>Leucaena leucocephala</i>	銀合歡	6.0	150	3.0	Low	Poor	Poor	Poor	Low	dying tree, leaning
T15	<i>Macaranga tanarius var. tomentosa</i>	血桐	3.0	100	4.0	Low	Poor	Poor	Poor	Low	leaning
T16	<i>Macaranga tanarius var. tomentosa</i>	血桐	7.0	110	3.0	Low	Poor	Poor	Poor	Low	leaning
T17	<i>Macaranga tanarius var. tomentosa</i>	血桐	4.0	140	2.0	Low	Poor	Poor	Poor	Low	broken trunk, leaning
T18	<i>Macaranga tanarius var. tomentosa</i>	血桐	6.0	140	2.0	Low	Poor	Poor	Poor	Low	broken trunk, leaning
T19	<i>Melia azedarach</i>	楝(苦楝)	12.0	480	10.0	Low	Poor	Poor	Poor	Low	co-dominant trunks with included bark
T20	<i>Melia azedarach</i>	楝(苦楝)	6.0	130	2.0	Low	Poor	Poor	Poor	Low	leaning
T21	<i>Leucaena leucocephala</i>	銀合歡	6.0	95	2.0	Low	Poor	Poor	Poor	Low	leaning
T22	<i>Leucaena leucocephala</i>	銀合歡	6.0	100	3.0	Low	Poor	Poor	Poor	Low	epiphytic plants, leaning
T23	<i>Leucaena leucocephala</i>	銀合歡	7.0	180	6.0	Low	Poor	Poor	Poor	Low	co-dominant trunks, dead trunk
T24	<i>Leucaena leucocephala</i>	銀合歡	7.0	200	7.0	Low	Poor	Poor	Poor	Low	co-dominant trunks with included bark
T25	<i>Leucaena leucocephala</i>	銀合歡	7.0	190	6.0	Low	Poor	Poor	Poor	Low	multi-trunks
T26	<i>Leucaena leucocephala</i>	銀合歡	8.0	210	5.0	Low	Poor	Poor	Poor	Low	cavity at trunk with exposed deadwood

Notes: Amenity Value, Form, Health Condition and Structural Condition of trees were obtained by Visual Assessment Only.

Appendix III – Photo Records

General View



General view 01



General view 02

General View



General view 03



General view 04

General View



General view 05



General view 06

General View



General view 07

Photo Records



T1 (Overview) (Leaning)



T1 Broken trunk



T1 Co-dominant trunks



T1 Crooked trunk

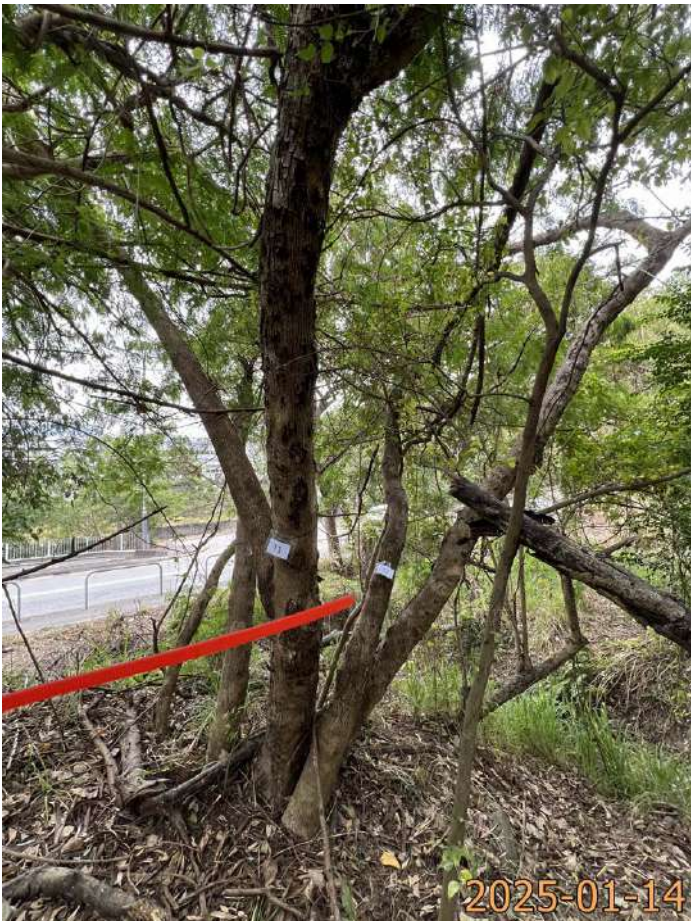
Photo Records



T2 (Overview)



T2 Broken trunk with epicormics



T3 (Overview)

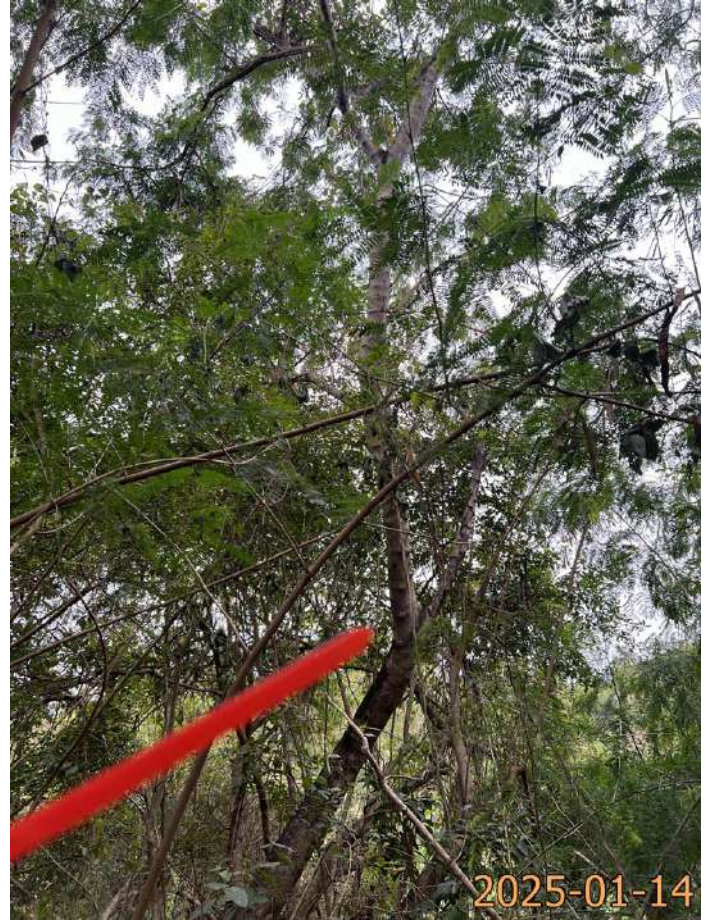


T3 Decay at trunk

Photo Records



T4 (Overview)



T4 Crooked trunk



T4 Dead branch



T5 (Overview)

Photo Records



T5 Cross trunks



T6 (Overview)



T6 Dead trunk



T7 (Overview) (Leaning, Epicormics)

Photo Records



T7 Epiphytic plants



T8 (Overview)



T8 Broken trunk



T9 (Overview) (Broken trunk with epicormics)

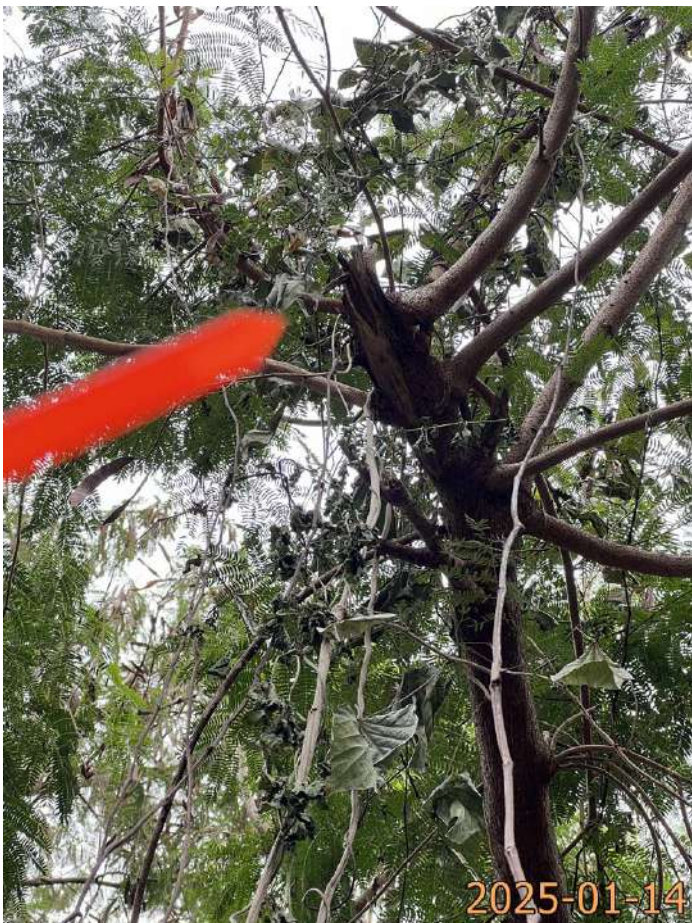
Photo Records



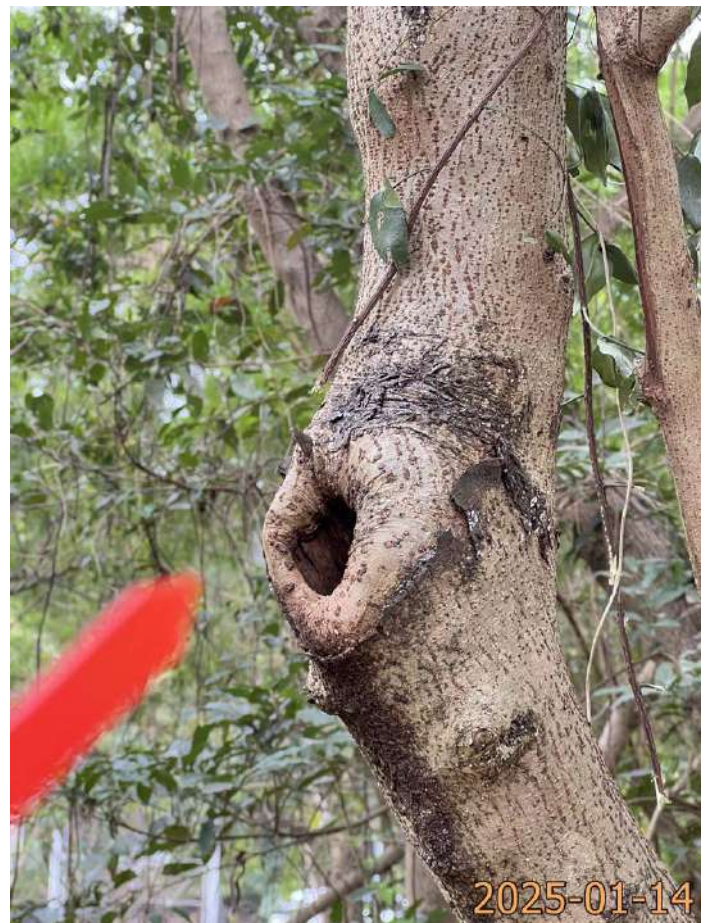
T10 (Overview) (Leaning)



T11 (Overview)

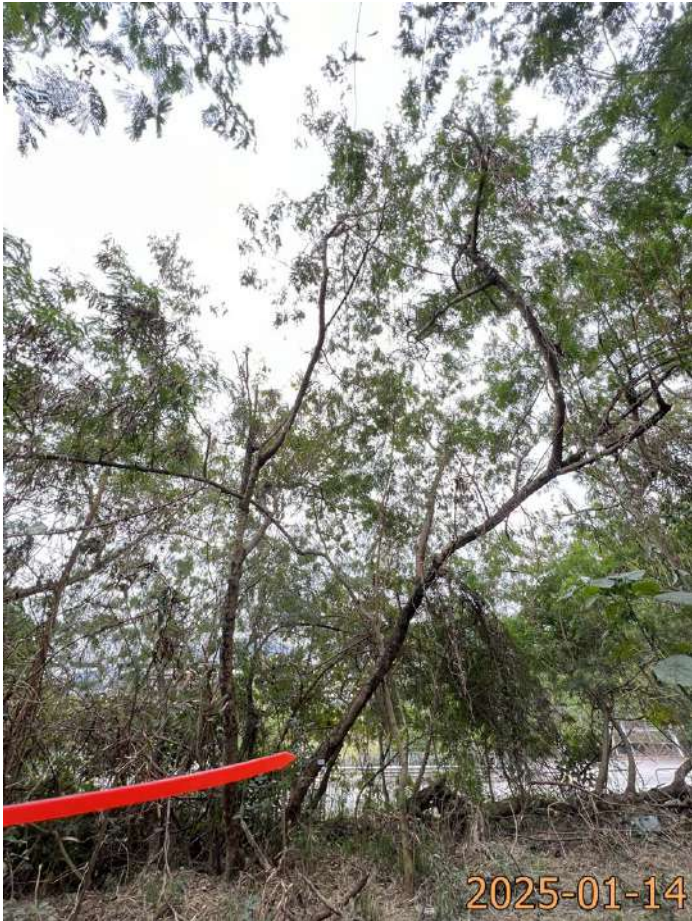


T11 Broken trunk



T11 Cavity at trunk

Photo Records



T12 (Overview) (Leaning)



T12 Broken trunk



T13 (Overview) (Broken trunk)

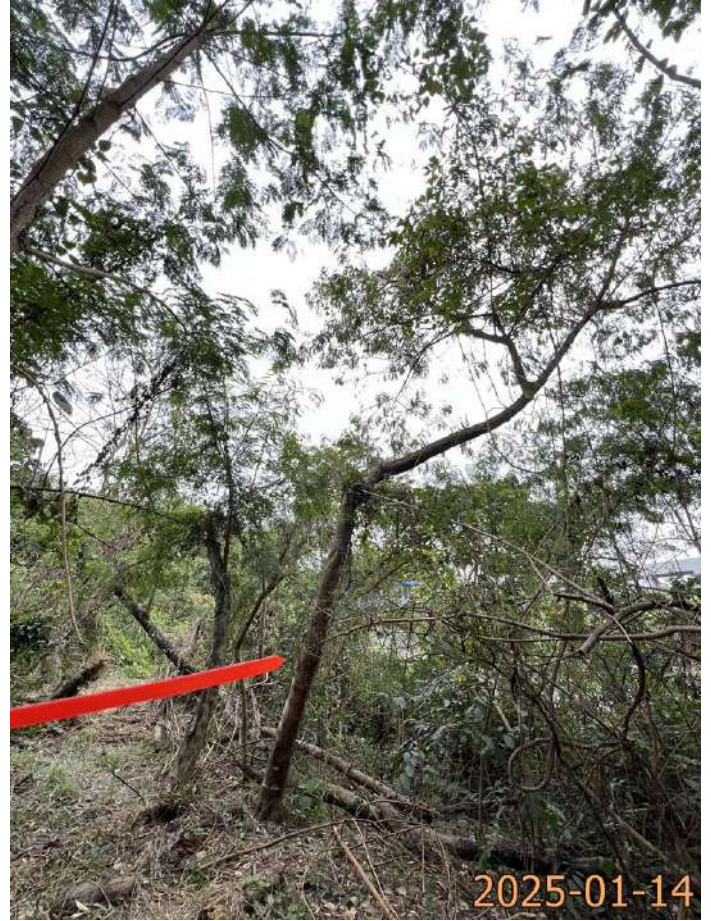


T14 (Overview) (Leaning)

Photo Records



T15 (Overview) (Leaning)



T16 (Overview) (Leaning)



T17 (Overview) (Leaning)



T17 Broken trunk

Photo Records



T18 (Overview) (Leaning)



T18 Broken trunk



T19 (Overview)



T19 Co-dominant trunks with included bark

Photo Records



T20 (Overview) (Leaning)



T21 (Overview) (Leaning)



T22 (Overview) (Leaning)



T22 Epiphytic plants

Photo Records



T23 (Overview) (Co-dominant trunks)



T23 Dead trunk



T24 (Overview)



T24 Co-dominant trunks with included bark

Photo Records



T25 (Overview)



T25 Multi-trunks



T26 (Overview)



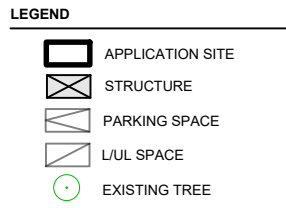
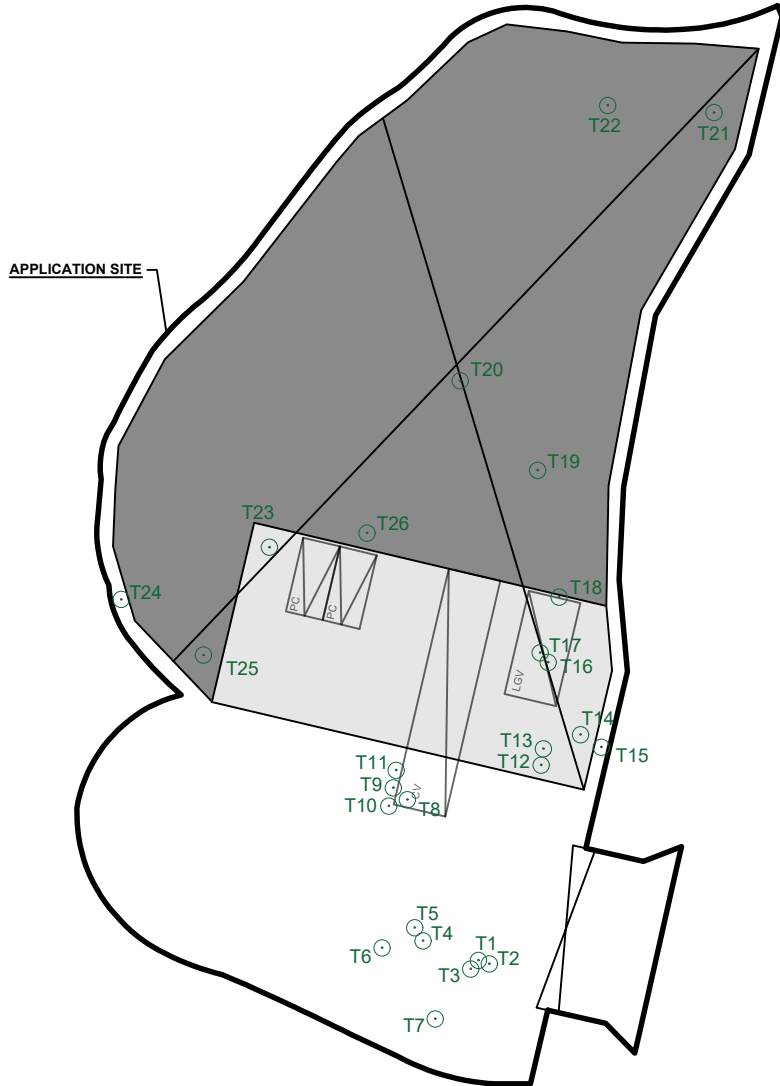
T26 Cavity at trunk with exposed deadwood

Annex 1b
Landscape Plan



EXISTING LANDSCAPE

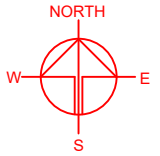
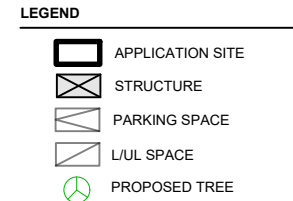
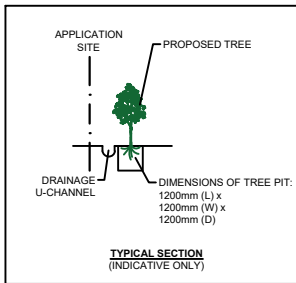
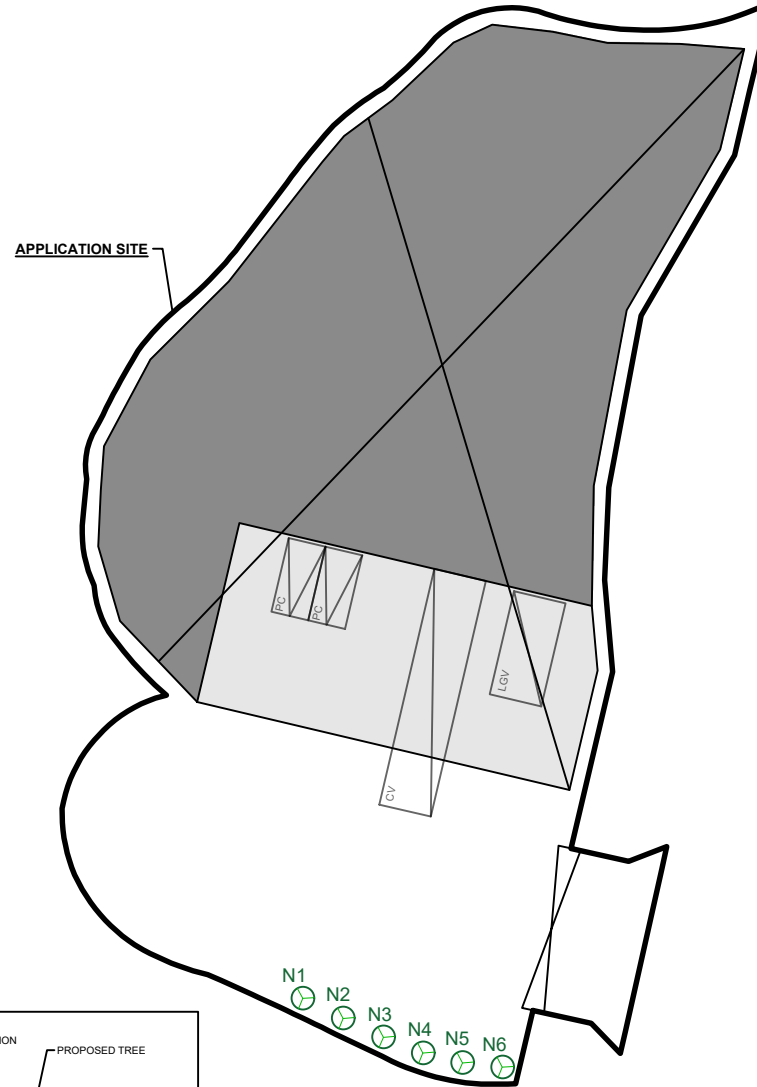
APPLICATION SITE AREA : 2,124 m² (ABOUT)
 NOS. OF EXISTING TREE : 26
 SPECIES OF TREE : T1-T14, T21-T26 - *Leucaena leucocephala*
 T15-T18 - *Macaranga tanarius var. tomentosa*
 T19-T20 - *Melia azedarach*
 NOS. OF TREE TO BE FELLED : 26



LANDSCAPE PLAN

APPLICATION SITE AREA : 2,124 m² (ABOUT)
 NOS. OF TREE TO BE PLANTED : 6 (N1-N6)
 SPECIES OF NEW TREES : *BAUHINIA x BLAKEANA*
 HEIGHT OF NEW TREES : NOT LESS THAN 2.75 m
 SPACING OF NEW TREES : NOT LESS THAN 4 m
 DIMENSION OF TREE PITS : 1.2 m (W) X 1.2 m (L) X 1.2 m (D)

- NOTES:**
- 1) THE APPLICANT WILL MAINTAIN TREES IN GOOD CONDITION DURING THE PLANNING APPROVAL PERIOD.
 - 2) THE APPLICANT WILL REPLACE TREES WHICH ARE DYING OR DEAD DURING THE PLANNING APPROVAL PERIOD.
 - 3) THE APPLICANT WILL PROVIDE ADEQUATE IRRIGATION FOR TREES.



PLANNING CONSULTANT
 R-Riches Property Consultants Ltd.

PROJECT
 PROPOSED WAREHOUSE (EXCLUDING DANGEROUS GOODS GODOWN) WITH ANCILLARY FACILITIES FOR A PERIOD OF 3 YEARS AND ASSOCIATED FILLING OF LAND

SITE LOCATION
 LOT 154 RP (PART) IN D.D. 106 AND ADJOINING GOVERNMENT LAND, KAM TIN, YUEN LONG, NEW TERRITORIES

SCALE
 1 : 500 @ A4

DRAWN BY
 CC

DATE
 16.1.2025

REVISED BY

DATE

APPROVED BY

DATE

DWG. TITLE
 LANDSCAPE PLAN

DWG. NO.
 ANNEX 1b

VER.
 001

Annex 2

Revised Plan showing Filling of Land at the Site

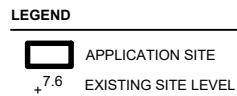
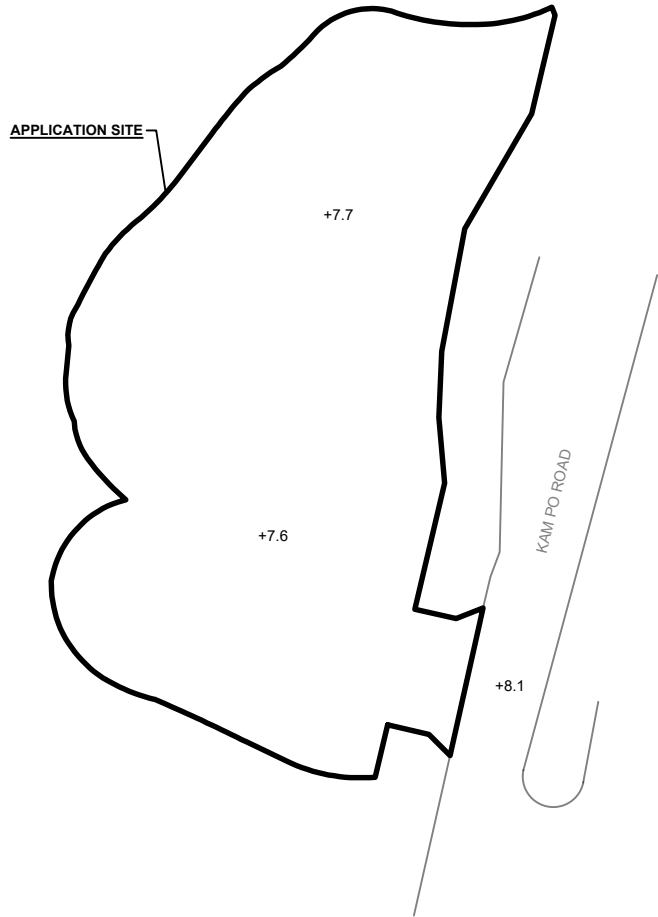
and

Revised Pages of Form No. S16-III & Planning Statement



EXISTING CONDITION OF THE APPLICATION SITE

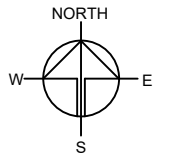
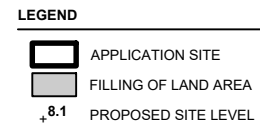
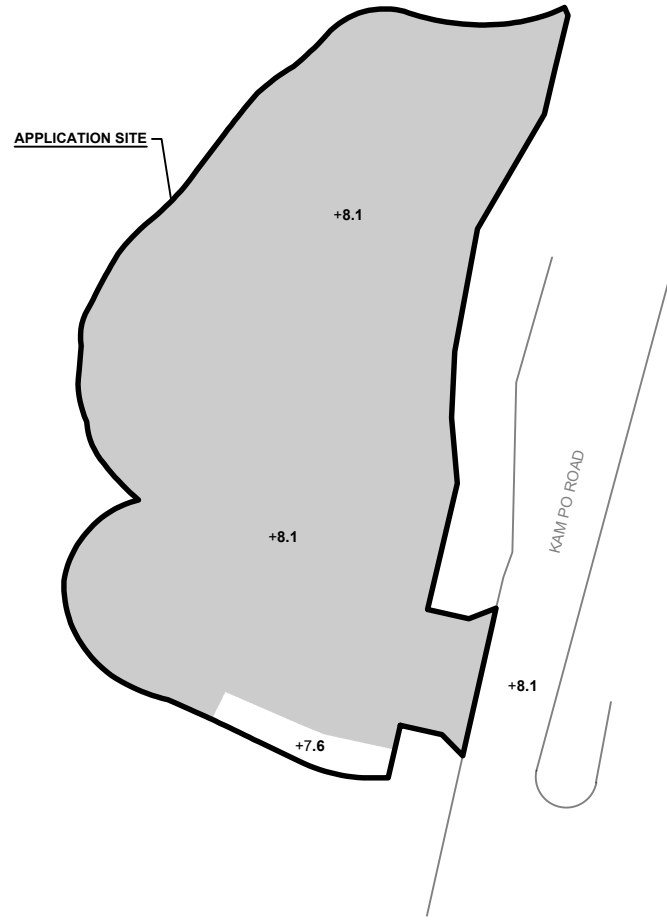
APPLICATION SITE AREA : 2,124 m² (ABOUT)
 EXISTING SOILED GROUND AREA : 2,124 m² (ABOUT)
 EXISTING SITE LEVELS : +7.6 mPD TO +7.7 mPD (ABOUT)



*SITE LEVELS ARE FOR REFERENCE ONLY.
 EXACT SITE LEVELS ARE SUBJECT TO DETAILED SURVEY.

PROPOSED FILLING OF LAND AREA

APPLICATION SITE AREA : 2,124 m² (ABOUT)
 COVERED BY STRUCTURE : NOT APPLICABLE (ABOUT)
 PROPOSED FILLING AREA : 2,072 m² (ABOUT)
 DEPTH OF LAND FILLING : NOT MORE THAN 0.5 m
 PROPOSED SITE LEVELS : +8.1 mPD (ABOUT)
 MATERIAL OF LAND FILLING : CONCRETE
 USE : PARKING AND LOADING / UNLOADING SPACE,
 SITE FORMATION OF STRUCTURE AND
 CIRCULATION SPACE



PLANNING CONSULTANT

PROJECT
 PROPOSED WAREHOUSE (EXCLUDING DANGEROUS GOODS GODOWN) WITH ANCILLARY FACILITIES FOR A PERIOD OF 3 YEARS AND ASSOCIATED FILLING OF LAND

SITE LOCATION
 LOT 154 RP (PART) IN D.D. 106 AND ADJOINING GOVERNMENT LAND, KAM TIN, YUEN LONG, NEW TERRITORIES

SCALE
 1 : 700 @ A4

DRAWN BY CC	DATE 16.1.2025
REVISED BY	DATE
APPROVED BY	DATE

DWG. TITLE
 FILLING OF LAND

DWG NO. ANNEX 2	VER. 001
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Proposed operating hours 擬議營運時間 Monday to Saturday from 09:00 to 18:00. No operation on Sunday and public holidays.																															
(d) Any vehicular access to the site/subject building? 是否有車路通往地盤/ 有關建築物?	<p>Yes 是 <input checked="" type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用))</p> <p>Accessible from Kam Ho Road</p> <p>No 否 <input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示，並註明車路的闊度)</p> <p><input type="checkbox"/></p>																														
(e) Impacts of Development Proposal 擬議發展計劃的影響 (If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures. 如需要的話，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。)																															
(i) Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動?	<p>Yes 是 <input type="checkbox"/> Please provide details 請提供詳情</p> <p>No 否 <input checked="" type="checkbox"/></p>																														
(ii) Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程?	<p>Yes 是 <input checked="" type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地/池塘界線，以及河道改道、填塘、填土及/或挖土的細節及/或範圍)</p> <p><input type="checkbox"/> Diversion of stream 河道改道</p> <p><input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 m 米 <input type="checkbox"/> About 約</p> <p><input checked="" type="checkbox"/> Filling of land 填土 Area of filling 填土面積 2,072 sq.m 平方米 <input checked="" type="checkbox"/> About 約 Depth of filling 填土厚度 not more than 0.5 m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 m 米 <input type="checkbox"/> About 約</p> <p>No 否 <input type="checkbox"/></p>																														
(iii) Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響?	<table border="0"> <tr> <td>On environment 對環境</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On traffic 對交通</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On water supply 對供水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On drainage 對排水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On slopes 對斜坡</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Affected by slopes 受斜坡影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Landscape Impact 構成景觀影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Tree Felling 砍伐樹木</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Visual Impact 構成視覺影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> </table> <p>.....</p> <p>.....</p>	On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On traffic 對交通	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On water supply 對供水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On drainage 對排水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On slopes 對斜坡	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Affected by slopes 受斜坡影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Landscape Impact 構成景觀影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Tree Felling 砍伐樹木	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
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5. DEVELOPMENT PROPOSAL

Development Details

5.1 The Site consists of an area of 2,124 m² (about), including 72 m² (about) of GL. Details of the development parameters are shown at **Table 2** below:

Table 2: Development Parameters

Site Area	2,124 m ² (about), including 72 m ² (about) of GL
Covered Area	1,332 m ² (about)
Uncovered Area	792 m ² (about)
Plot Ratio	1.25 (about)
Site Coverage	63% (about)
Number of Structure	1
Total GFA	2,664 m ² (about)
- Domestic GFA	Not applicable
- Non-Domestic GFA	2,664 m ² (about)
Building Height	13 m (about)
No. of Storey	2

5.2 A two-storey structure is proposed at the Site for warehouse (excluding D.G.G.), site office, washroom and covered parking and L/UL area with total gross floor area (GFA) of 2,664 m² (about). The remaining open area is reserved for vehicle circulation space (**Plan 9**). Details of the structure are shown at **Table 3** below:

Table 3: Details of Proposed Structures

Structure		Use	Covered Area	GFA	Building Height
B1	1/F	Warehouse (excluding D.G.G.), site office and washroom	1,332 m ²	1,332 m ²	13 m (about) (2-storey)
	G/F	Warehouse (excluding D.G.G.)		1,027 m ²	
		Covered parking & L/UL area		305 m ²	
Total			1,332 m² (about)	2,664 m² (about)	-

Hard-paving at the Site

5.3 The majority of the Site (i.e. 2,072 m² (about), 97.6% of the Site) is proposed to be hard-paved with concrete of about 0.5 m in depth from the existing site level of +7.6 mPD to +8.1 mPD for site formation of structure, vehicle parking and L/UL spaces and circulation area (**Plan 10**). As the Site is currently of soiled ground,

concrete site formation is required to provide a relatively flat and solid surface. Hence, hard-paving is considered required and has been kept minimal to meet the operation need of the proposed development.

Operation Mode

- 5.4 The Site is designated for warehouse (excluding D.G.G.) use for storage of miscellaneous goods, including but not limited to packaged food and beverage, apparel, footwear, electronic goods etc., which are the same as those in the original premises. Operation hours are Monday to Saturday from 09:00 to 18:00. There is no operation on Sunday and public holidays.
- 5.5 It is estimated that the Site would be able to accommodate not more than 5 staff. The ancillary facilities (i.e. site office, washroom etc.) are intended to provide indoor workspace for administrative staff to support the daily operation of the Site. As no shopfront is proposed at the Site, visitor is not anticipated at the Site.

Minimal Traffic Impact

- 5.6 The Site is accessible from Kam Ho Road (**Plan 1**). An 11 m (about) wide ingress/egress is provided at the southeastern part of the Site (**Plan 9**). A total of 4 parking and L/UL spaces are proposed at the Site for the daily operation of the proposed development. Details of the provisions of parking and L/UL space are shown at **Table 4** below:

Table 4: Provision of Parking and L/UL Spaces

Type of Space	No. of Space
Parking space for Private Cars (PC) - 2.5 m (W) x 5 m (L)	2
Type of Space	No. of Space
L/UL space for Light Goods Vehicle (LGV) - 3.5 m (W) x 7 m (L)	1
L/UL Space for Container Vehicle (CV) - 3.5 m (W) x 16 m (L)	1

- 5.7 LGV and CV will be deployed for the transportation of goods into/out of the Site, which will only be carried out beyond peak hours between 10:00 and 17:00. Sufficient space is provided for vehicles to manoeuvre smoothly within the Site to ensure that no vehicle will be allowed to queue back to or reverse onto/from the Site to the public road (**Plan 11**). Staff will be deployed to station at the ingress/egress of the Site to direct incoming/outgoing vehicles to enhance pedestrian safety. The breakdown of estimated trip generation and attraction of proposed development are provided at **Table 5** below:

Table 5: Estimated Trip Generation/Attraction

Time Period	Estimated Trip Generation/Attraction						
	PC		LGV		CV		2-Way Total
	In	Out	In	Out	In	Out	
Trips at <u>AM peak</u> per hour (09:00 – 10:00)	2	0	1	0	1	0	4
Trips at <u>PM peak</u> per hour (17:00 – 18:00)	0	2	0	1	0	1	4
Average trips per hour (10:00 – 17:00)	0.5	0.5	2	2	1	1	7

- 5.8 As the nos. of vehicular trip generated/attracted by the proposed development are expected to be minimal, adverse traffic impact to the surrounding road network should not be anticipated.

Minimal Environmental Impact

- 5.9 The applicant will strictly follow the latest 'Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites' (COP) issued by the Environmental Protection Department (EPD) to minimize adverse environmental impacts and nuisance to the surrounding areas. The applicant will also comply with all environmental protection/pollution control ordinances, i.e. *Water Pollution Control Ordinance, Air Pollution Control Ordinance, Noise Control Ordinance* etc. at all times during the planning approval period.
- 5.10 During the construction stage, the applicant will follow the good practices stated in *Professional Persons Environmental Consultative Committee Practice Notes (ProPECC PN) 2/23* to minimize the impact on the nearby watercourse water quality. Surface run-off from the construction phase will be discharged into storm drains through appropriately designed sand/silt removal facilities such as sand traps, silt traps, and sediment basins. Silt removal facilities, channels, and manholes will be maintained, and the deposited silt and grit will be removed on a regular basis, at the start and end of each rainstorm, to ensure that these facilities are always operational.
- 5.11 During the operation of the proposed development, the major source of wastewater will be sewage from the washroom generated by staff. The applicant will implement good practices under *ProPECC PN 1/23* when designing on-site drainage system with the Site. Licensed collectors will be employed by the applicant to collect and dispose of sewage regularly, and the location of portable toilets are located away from the watercourse in the vicinity.
- 5.12 2.5 m high solid metal fencing will be erected along the site boundary to minimize noise nuisance to the surrounding area. The boundary wall will be installed properly by a licensed contractor to prevent misalignment of walls, to ensure that there is no

gap or slit on the boundary wall. In addition, maintenance will be conducted by the applicant on a regular basis.

Minimal Landscape Impact

- 5.13 No old and valuable tree or protected species has been identified at the Site. Due to proposed hard-paving works for open storage and vehicle circulation purposes, majority of the Site area will be disturbed. The remaining area will be affected by the erection of structures; consequently, all existing trees will be affected, and it is not proposed to retain any of the existing trees at the Site.

Minimal Drainage Impact

- 5.14 The applicant will submit a drainage proposal to mitigate potential drainage impact generated from the proposed development after planning approval has been granted from the Board. The applicant will implement the proposed drainage facilities at the Site once the drainage proposal is accepted by the Drainage Services Department.

Fire Safety Aspect

- 5.15 The applicant will submit a fire service installations (FSIs) proposal for the consideration of the Director of Fire Services to enhance the fire safety of the Site. Upon receiving the STW approval from the LandsD for erection of the proposed structure, the applicant will proceed to implement the accepted FSIs proposal at the Site.